

**Section 5.10 R-3 High Density Residential**

**5.10.01 Intent:** This district is intended to provide high density residential development in areas providing all public facilities and supporting facilities to maintain a sound and pleasant environment for the inhabitants.

**5.10.02 Compatible Use Categories:**

The following are Use Categories identified in Section 5.06 of this Ordinance. Specific uses within the Use Categories may be allowed as a Permitted Use, Conditional Use, and Temporary Use or not permitted. Refer to Section 5.06 to determine the level allowed.

1. Cultural Services
2. Residential Living
3. Residential/Commercial Institutions
4. Community Services/Civic Uses
5. Treatment, Rehabilitation and Incarceration Facilities
6. Day-care, Public and Private Schools
7. Public Parks and Open Space
8. Public and Private Utilities

**5.10.03 Permitted Uses:**

Permitted Uses are allowed outright provided the uses and/or structure meet the minimum bulk requirements of the District.

**5.10.04 Conditional Uses:**

The following uses are subject to any conditions listed in this section as well as any conditions relating to the placement of said use on a specific tract of ground in the R-3 District as recommended by the Planning Commission and City Council and approved by the City Council.

1. Use with specific basic conditions required:

**Hospitals and clinics**, provided the following and/or other conditions and standards are met:

- a. Building shall not occupy more than 40% of the total lot area,
- b. Building setbacks from all yards shall not be less than one foot per foot of building height.

**5.10.05 Temporary Uses:**

Temporary uses may be permitted provided a Temporary Use Permit is obtained and said temporary use is eliminated at the expiration of the permit. See Section 4.23.

**5.10.06 Accessory Uses and Structures:**

Refer to the definitions of Accessory Uses and Structures, as well as Table 5.06 and Sections within Article 4 for more detail.

**5.10.07 Height and Lot Requirements:** The height and minimum lot requirements shall be as follows:

Use	Lot Area (SF)	Lot Width (feet)	A Front Yard (feet)	B Rear Yard (feet)	C Side Yard (feet)	Street Side Yard (feet)	Max. Height (feet)	Max. Building Coverage (%)
Single-family detached	7,000	50	25	25**	8	12.5	35	40
Single-family attached (2 units only)	3,500 per unit	50 per unit	25	25**	8*	12.5	35	40
Two family dwelling	8,000	75	25	25**	8*	12.5	35	40
Condominium (more than 2 units)	3,500***	20****	25	25**	8*	12.5	35	40
Townhouse (more than 2 units)	3,500***	20****	25	25**	8*	12.5	35	40
Multi-family dwelling	Per Unit							
1-story	4,000	90	25	25**	8	12.5	35	40
2-story	2,500	90	25	25**	8	12.5	35	40
3-story	1,500	90	25	25**	8	12.5	35	40
Other Permitted Uses	4,000	70	25	25**	8	12.5	35	30
Other Conditional Uses	4,000	70	25	25**	8	12.5	35	30
Accessory Buildings	-	-	50	8	8	12.5	18	10

\* Common wall shall have a zero lot line setback and shall be located on the property line separating both dwellings.

\*\* See Section 4.21

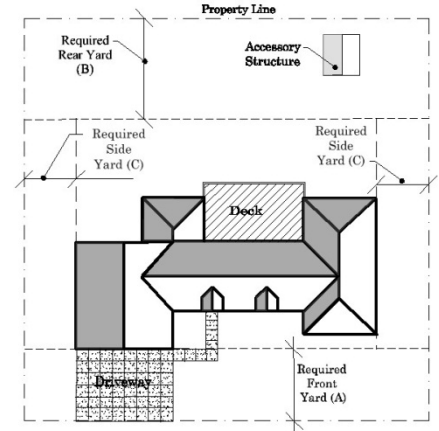
\*\*\* The Minimum Lot Area is 2,000 square feet per unit for interior units and the end units shall have a minimum of 4,000 square feet. See Section 5.10.08 for addition requirements.

\*\*\*\* The minimum lot width for Townhouses and Condominiums with more than two units shall be 20 feet for interior units and 40 feet for the exterior units. See Section 5.09.08 for additional requirements.

**5.10.08 Special Requirements**

**1. Townhouses and Condominiums**

- a. Each unit is separated by a two-hour fire rated wall from the lowest level and continuing through the roof structure.
- b. Each unit shall be serviced by separate facilities.
- c. When each unit is in separate ownership, the accompanying lot shall not be in common ownership with any other unit.
- d. No more than six units shall be connected in this district.



**Required Yard Locations**