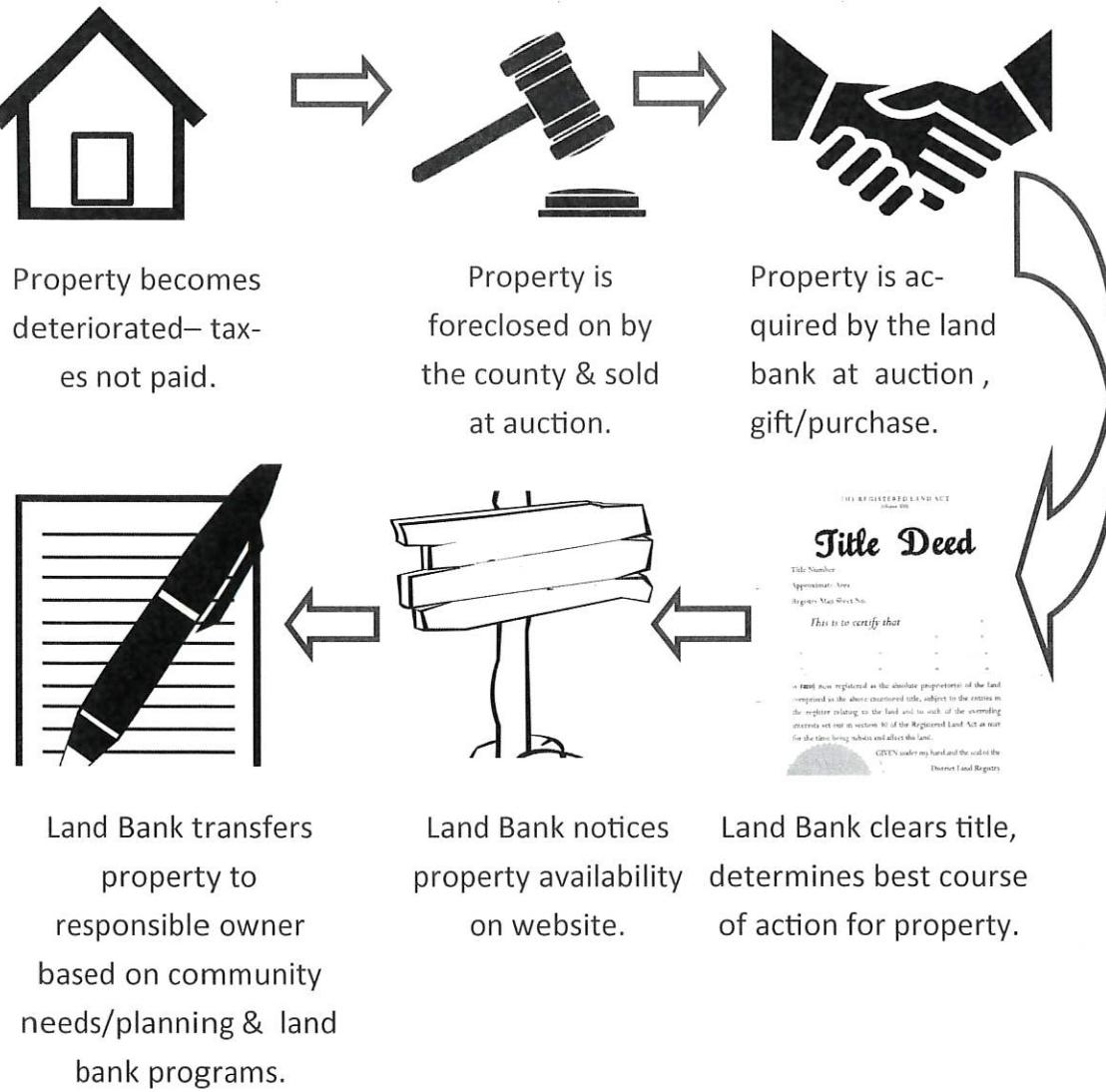


THE SPIRAL OF BLIGHT DESTABILIZES NEIGHBORHOODS– TAKING NO ACTION MAKES THE PROBLEM WORSE.



HOW A LAND BANK BREAKS THE CYCLE



SOUTH JEFFERSON LAND BANK

Communities pay the price for vacant & abandoned properties: decreased property values, fire & safety hazards, neighborhood population decline, loss of tax revenue, & demolition costs.

Most vacant properties are rejected by the private market due to legal & financial barriers like clouded titles, repairs & delinquent taxes exceeding the market value of the property.



A land banks role is to identify & acquire vacant, abandoned, and/or deteriorated properties & to steward their rehabilitation & return to productive community assets.