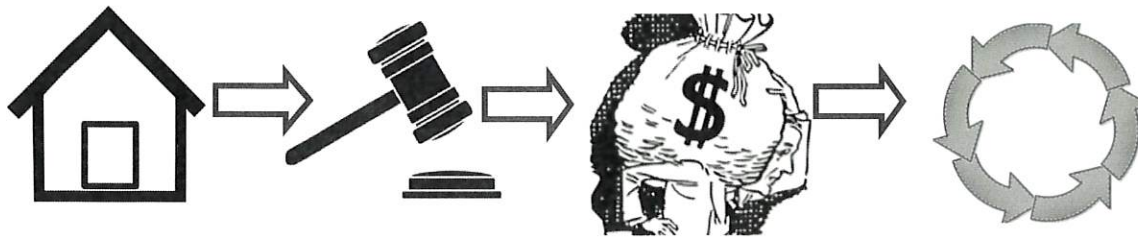


# THE SPIRAL OF BLIGHT DESTABILIZES NEIGHBORHOODS— TAKING NO ACTION MAKES THE PROBLEM WORSE.



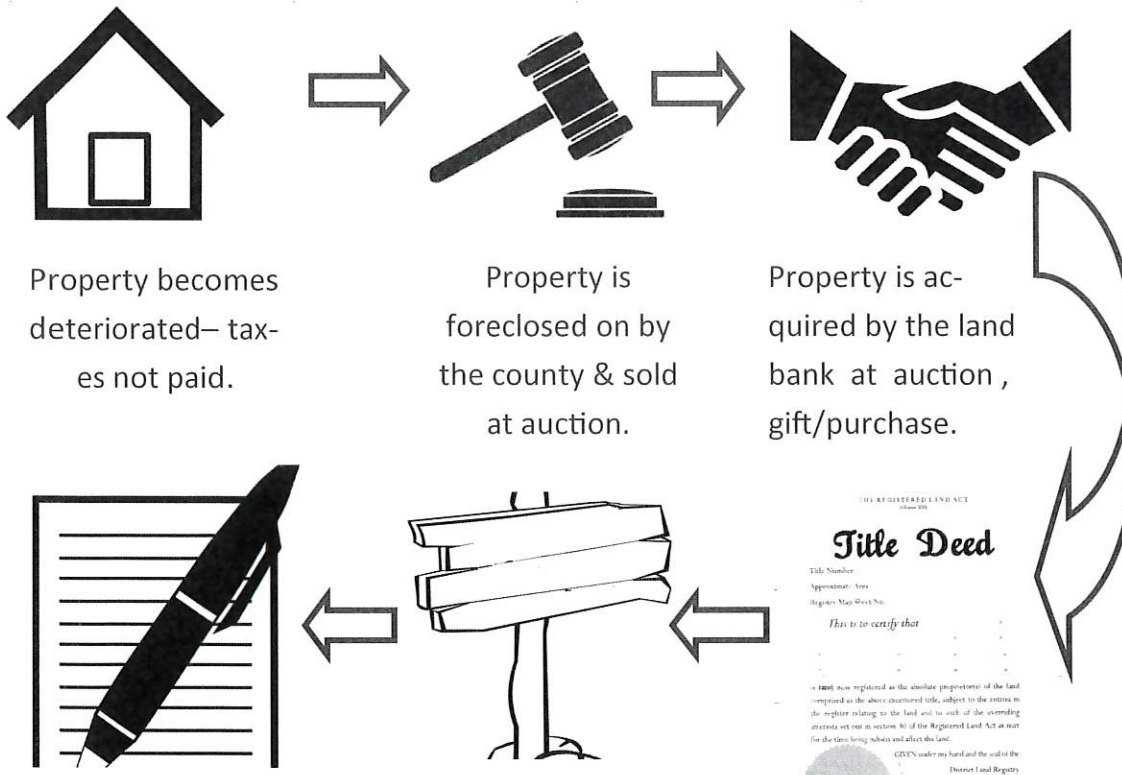
Property becomes deteriorated— taxes not paid.

Property is foreclosed on by county & sold at auction.

Property is purchased by a speculator, taxes go unpaid.

Cycle begins again.

## HOW A LAND BANK BREAKS THE CYCLE



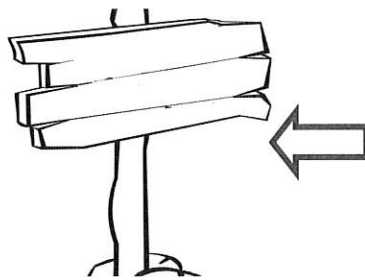
Property becomes deteriorated— taxes not paid.

Property is foreclosed on by the county & sold at auction.

Property is acquired by the land bank at auction, gift/purchase.



Land Bank transfers property to responsible owner based on community needs/planning & land bank programs.



Land Bank notices property availability on website.

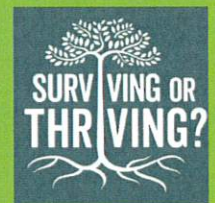


Land Bank clears title, determines best course of action for property.

## SOUTH JEFFERSON LAND BANK

Communities pay the price for vacant & abandoned properties: decreased property values, fire & safety hazards, neighborhood population decline, loss of tax revenue, & demolition costs.

Most vacant properties are rejected by the private market due to legal & financial barriers like clouded titles, repairs & delinquent taxes exceeding the market value of the property.



A land bank's role is to identify & acquire vacant, abandoned, and/or deteriorated properties & to steward their rehabilitation & return to productive community assets.